

# LONDON BOROUGH OF ENFIELD

## PLANNING COMMITTEE

**Date :** 24th January 2017

**Report of**

Assistant Director, Planning,  
Highways & Transportation

**Contact Officer:**

Andy Higham  
Sharon Davidson  
Ms Marina Lai

**Ward:**

Southgate

**Ref:** 16/04322/LBC

**Category:** Listed Building Consent

**LOCATION:** Former Minchenden School, High Street, N14 6BS,

**PROPOSAL:** Subdivision of the site to provide a specialist school, involving alterations to modify and extend to Farbey Building, installation of fence south façade, alterations to mews building and open sided workshop, installation of new boundary fence around school, new external hard play area, reconfiguration of carpark and vehicular/pedestrian access from Leigh Hunt Drive.

**Applicant Name & Address:**

C/o Agent

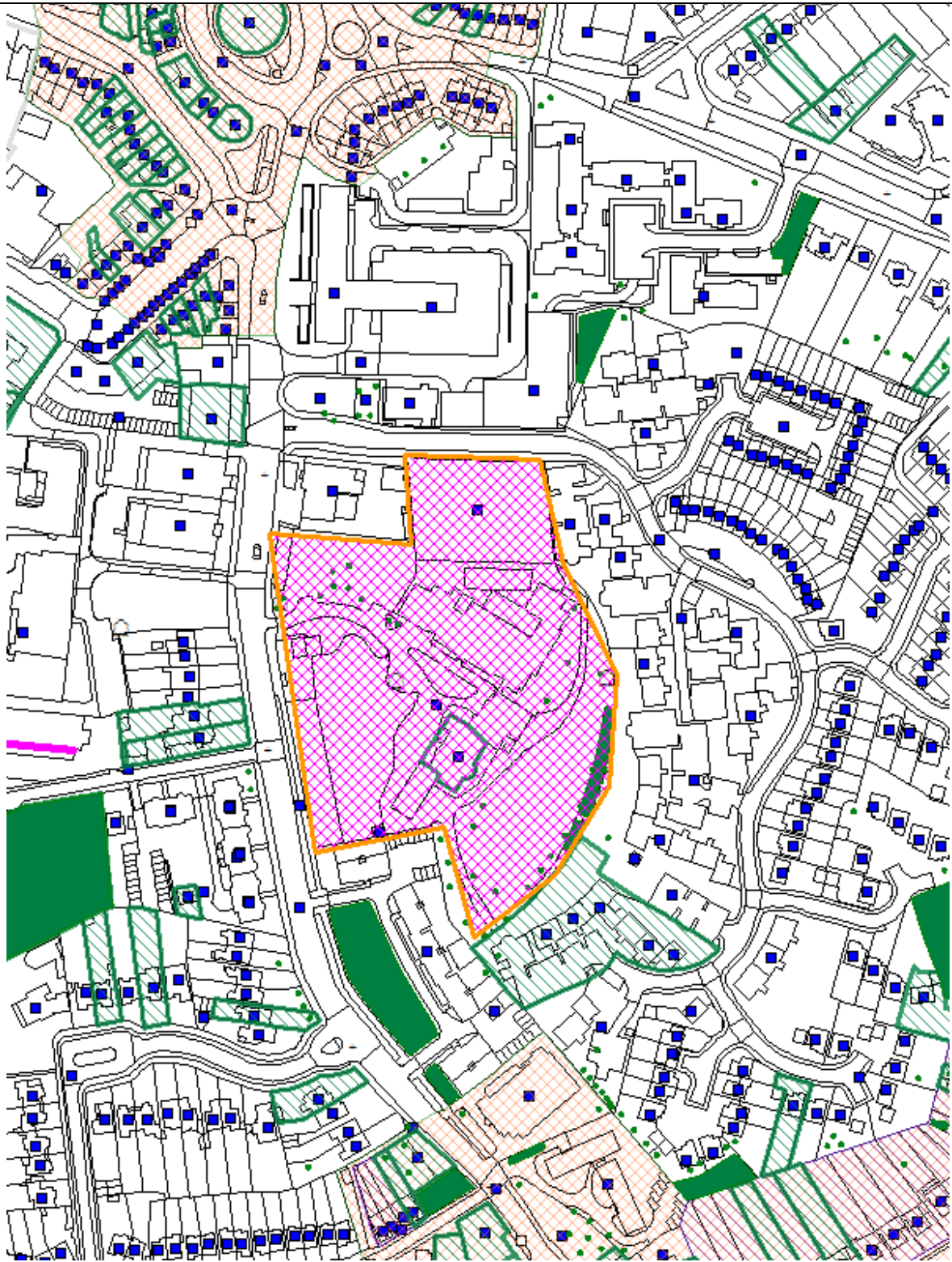
**Agent Name & Address:**

C/o Agent  
65 Gresham Street  
London  
EC2V 7NQ  
United Kingdom

**RECOMMENDATION:**

As such, Listed Building Consent is recommended **APPROVAL**, subject conditions.

Ref: 16/04322/LBC LOCATION: Former Minchenden School, High Street, N14 6BS,



Reproduced by permission of Ordnance Survey on behalf of HMSO. ©Crown Copyright and database right 2013. All Rights Reserved. Ordnance Survey License number 100019820

Scale 1:2500

North



## **1. Site and Surrounding**

- 1.1. The application site comprises a series of buildings and forms part of the curtilage of the Southgate House Site, formerly known as Minchenden School Site.
- 1.2. The Southgate House Site is fairly substantial in size and at its heart is Southgate House, which is grade II\* listed. The House dates from the late 18th century and is a high status Georgian country house over two principle floors with basement and attics.
- 1.3. The Southgate House site was converted to institutional use in the early 20th century and in the 1930s, the institutional use of the site significantly expanded to have a series of buildings erected. The whole site is approximately 17600sqm, and does not benefit from any public view, enclosed by a variety of fence types and high brick walls to the north and west and residential development to the east and south. There are a significant number of mature trees, including TPO trees, within the curtilage of the site. The current vehicle and pedestrian entrance to the site is from Southgate High Street via a carriage drive.
- 1.4. The application site occupies a proportion (approximately 7000sqm) of the Southgate House Site, comprising all land to the north of the carriage drive, the stable building (Mews Building), the 1930s school building (Farbey Building) and its adjacent open sided Workshop Building, an existing car parking between the Mews Building and the Farbey Building, part of the brick boundary wall and part of the rear garden.
- 1.5. The site doesn't lie in within a conservation area, and is within walking distance to Southgate Underground and Bus Station, a number of retail units and opposite the entrance to Southgate and Barnet College.
- 1.6. High Street is a classified road (A1004). There is a right run pocket in place to reduce the risk of vehicle turning into the site obstructing traffic flow. The site has a PTAL of 4 which indicates a very good transport service.

## **2. Proposal**

- 2.1. The Council has a statutory duty to deliver autistic provision in the Borough and due to a lack of autistic provision within Enfield, is currently providing out of Borough places to some autistic pupils, which the Council is seeking to address.
- 2.2. The council has then recently purchased the former Minchenden Site to accommodate the top end of the required secondary autistic provision.
- 2.3. The proposal will involve the subdivision of the existing curtilage of the Grade II\* listed building (Southgate House) and conversion of the existing former education buildings on the site to a speciality autistic school for 120 x pupils and 100 x staff.
- 2.4. List Building Consent (Ref: 16/04322/LBC) in conjunction with planning permission (Ref: 16/04677/RE4) are sought for the following proposed works:

- a) Remodel, refurbish and extend the Farbey Building;
- b) Enclosure and convert the open sided workshop to provide school kitchen and dining facilities;
- c) Remodel and refurbish the Mews Building;
- d) Form a new vehicle and pedestrian entrance from the public car park on Leigh Hunt Drive to an on-site staff car park and pupil drop off;
- e) Form new external hard play areas to the rear (east) of the Farbey Building; and
- f) Provide a secure boundary fence around the entirety of the new school site and to provide a boundary with Southgate House.

#### Farbey Building

2.5. The Farbey Building will be refurbished, remodelled and extended to meet the facilities required for an autistic school. The proposed works that are subject to Listed Building Consent include:

- Construction of 2 x new two-storey extensions to the north-western corner and west side of the building, to provide a new staircase for means of escape and a lift to facilitate wheelchair access to the upper levels; The height will match the existing eaves level;
- Removal of the existing external metal escape stair;
- Replacement of existing metal framed windows within painted timber sub-frames with new windows to match the existing;
- Replacement of existing doors with new PPC metal framed double glazed doors in modified existing opening;
- Replacement of existing pitched roof slats and coverings;
- Demolition of the existing single storey pitched roof link between Farbey Building and Southgate House and the resulting openings will be blocked up with facing brickwork to match existing;
- Blocking up 2 x existing ground floor openings with facing brickwork to match existing;
- Installation of 4 x new stepped access to the flank elevation;
- Modifications of existing layout involving new partition walls and installation of new shower / change rooms; and
- Subdivision of existing main hall / gymnasium.

#### Workshop Building

2.6. The single-storey open sided workshop will be remodelled to provide kitchen / dining facilities. The proposed works would involve the enclosure of the open sided building via insertion of 3 x windows and 1 x door on south elevation and 3 x windows and 1 x door on north elevation and 1 x door on west elevation. The proposed new brickwork will match existing.

#### Mews Building

2.7. The existing part single part two-storey Mews Building will be reconfigured and refurbished to provide a 6th Form common room, as well as overnight stay/life skills teaching accommodation to help prepare pupils for living on their own. The proposal would also replace the existing timber sash windows and timber doors to match existing, insert a new door on the ground floor and clean and repoint the existing brickwork.

#### Car Park and Access

- 2.8. The existing pedestrian access via High Street would remain. The existing car parking of the site that is located between Mews Building and Farby Building would remain as parking space for pupil drop off and 40 x staff parking.
- 2.9. A new pedestrian/vehicular access will be provided via a public car park off Leigh Hunt Drive. The existing opening in the section of the boundary wall will be used for pedestrian access and the new opening required for vehicular access and egress sliding gate will be made through a section of clearly re-built wall.
- 2.10. The proposal would also involve erecting a new pedestrian ramped access leading to Workshop Building and rear of Farbey Building and a new ramped access leading to front of Farbey Building and Mews Building.

#### External Play Area

- 2.11. Located to the rear of Farbey Building, the proposed play area will comprise a mixture of tarmacadam / block paving / artificial grass, with play equipment including play water feature, swings, climbing area etc

#### Secure Fence

- 2.12. A perimeter fence ranging at different heights around the perimeter of the school site will be introduced for pupil safety.

### **3. Consultations**

#### *Neighbours:*

- 3.1. The application was referred to 41x surrounding properties. 1 x support and 2 x objections were received.

- 3.2. The support received states:

- *The Lime Trust are supportive of a satellite SEN school at this location, bringing much-needed specialist SEN places to the borough. As a Trust, we have submitted an application to the Department for Education to open a new 3 FE primary school in this area of the borough, and hope that the Trust and EFA can work with the Local Authority to co-locate our primary school with this proposed SEN provision which would have significant benefits to pupils of both schools and the wider community in Southgate.*

- 3.3. The objections concerned:

- Objection1: the proposal's site justification statement 4.1.3 says "An assessment of alternative sites (other than Minchenden) within the borough has concluded that there are no sites capable of meeting the needs of the school due to constraints arising from site size/configuration, availability, accessibility, and/or planning policy" but the more recent and high level Report to Cabinet 19 October 2016, Item 16, says: "two sites had been tested thoroughly against suitability and viability against the Minchenden Site, one in the east of the Borough and one in the west. Both of these sites were suitable for the development of an autistic

provision" The planning application is clearly unacceptable; officers are misleading us in this application. Other sites are available and suitable.

- Objection 2: The acknowledged overwhelming local need for additional primary school places is not addressed by this proposal; instead this proposal takes the best available local site for extra primary provision and uses it for something else. Additional primary places were first promised more than 20 years ago when Minchenden was closed and land sold for housing. The need is identified now [Report to Cabinet 16 November 2016, Item 8] as the highest priority need in Enfield for primary pupils: "Deliver three additional permanent forms of primary entry (FE) in the South West from September 2017 to September 2020". London Plan Policy 3.18 [Planning Statement 5.4] is therefore not met by this proposal. Enfield's Core Strategy [Planning Statement 5.5] is also not met by this proposal. The planning proposal fails at a policy level as well as failing to meet Council priorities such of Fairness for All, Growth and Sustainability, and Strong Communities.

- 3.4. Response to Objection One: The Cabinet report identified two alternative sites which were consider the first is not in the ownership of the council and the current owner has confirmed that they were not interest in releasing the site to the council for development purposes. The second site is a green belt site and would have been difficult to get a successful planning application to allow the development of a school. Based on the fact that the site was green belt it would have not been possible to provide the additional places within the prescribed timescale. In addition it should be noted that the site has also been chosen to develop a stronger partnership with Barnet and Southgate College which has specialist facilities on the Southgate site for young adults with autism. The council believes that this partnership will deliver an autistic specialism hub which can only benefit the pupils attending this new facility
- 3.5. Response to Objection Two: While this is a broader planning consideration (and we have provided information to demonstrate the proposal does not prejudice the delivery of additional primary school places to meet predicted demand within the local catchment area), the issue is a different matter to this application.

*Internal:*

- 3.6. Conservation Officer: Placed no objections and recommended a set of conditions of which details are stated on Section 7 of the Report.
- 3.7. Transport Team: No objection; details are provided on the case officer's report under 16/04677/RE4.
- 3.8. Environmental Protection Team: No objection as there is unlikely to be a negative environmental impact. In particular there are no concerns regarding air quality or contaminated land.
- 3.9. Tree Officer: No objection to these proposals; details are provided under the application 16/04677/RE4.
- 3.10. SuDs Officer: The drainage approach is generally satisfactory for the playground area.

*External:*

- 3.11. Historic England: Placed no objection to the proposal, stating:

*Whilst Historic England has no objection to the principle of converting the Farbey Building and the Stable Block to a new school, we would urge the Council to bring forward proposals for the repair and reuse of the Grade II\* Southgate House, which also forms part of this site. Southgate House is currently in a poor and deteriorating condition and has recently been added to our Heritage At Risk Register.*

*We would also recommend that the Council places conditions on any grant of planning permission requiring that further details are submitted of the proposed boundary treatments between the school and the grounds of Southgate House.*

- 3.12. Conservation Advisory Group (CAG): CAG welcomed the proposals noting there has been Historic England involvement. The site is currently unoccupied. It was stressed that the proposal to subdivide the main hall will be done sympathetically with all works being reversible. Access arrangements are arranged to minimise the impact on the listed wall. Further benefits include the refurbishment of the Mews Building. CAG noted that the enclosure of the open sided workshop had no material impact on the historical elements of the site. The Officer also stated that emergency works have/are being undertaken, by Enfield, to secure the adjacent Southgate House. Discussions are taking place with an educational establishment that would occupy Southgate House (currently in poor condition). Because there is synergy between the two users of Farbey Building and Southgate House it is important to progress this application as quickly as possible. CAG gave their unanimous support to the application.
- 3.13. Southgate District Civic Trust: Placed no objection to the proposed as it was not in our opinion likely to cause any problem to the listed houses on the High Street, or Southgate House.

#### **4. Relevant Planning History**

- 4.1. LBC/10/0092: Listed building consent application for removal of parts of front boundary wall and rebuilt, remove and reset coping to top of wall was withdrawn.
- 4.2. LBC/02/0019: Listed Building Consent application for internal and external alterations including treatment of damp/dry rot, demolition of part of south retaining wall and steps, and installation of new step and chair lift was withdrawn.
- 4.3. LBC/91/0007: Listed building consent was granted for refurbishment of existing building in connection with its use for office purposes involving the demolition of existing single storey side extension and external staircase together with the erection of a 2-storey extension to the south to provide additional office.
- 4.4. AD/92/0071: Advertisement consent was granted for installation of a free standing, non-illuminated sign board.

- 4.5. LBC/89/0002: Listed building consent was granted for alterations to the mansion house Minchenden Complex part of fire precaution works.
- 4.6. LBC/88/0008: Listed building consent was granted for alteration repairs and restoration of the listed building.

## **5. Relevant Policies**

- 5.1. Core Strategy  
CP30: Maintaining and improving the quality of the built and open environment
- 5.2. Development Management Document (adopted in November 2014)  
DMD37: Achieving High Quality and Design-Led Development  
DMD38: Design Process  
DMD44: Preserving and enhancing heritage assets
- 5.3. London Plan Consolidated with Alterations since 2011 (2015)  
Policy 7.4: Local character  
Policy 7.6: Architecture  
Policy 7.8: Heritage assets and archaeology
- 5.4. Other Relevant Policy Considerations  
Enfield Characterisation Study  
Planning (Listed Buildings and Conservation Areas) Act 1990  
National Planning Policy Framework

## **6. Main Issues to be Considered**

- 6.1. The application site occupies a proportion of the curtilage of a Grade II\* listed building, Southgate House. As such any building works, internally and externally, will require listed building consent under the planning regulations.  
  
Policy Context
- 6.2. Sections 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states: 'In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historical interest which it possesses.'
- 6.3. The National Planning Policy Framework (NPPF) provides guidance with local planning authorities on how to safeguard this special interest. Paragraph 132 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. As heritage assets are irreplaceable, any harm should require clear and convincing justification.
- 6.4. Paragraphs 134 states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing optimum viable use.
- 6.5. The NPPF also requires local planning authorities to 'identify and assess the particular significance of any heritage asset that may be affected by a



proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal'.

Main Issues to be considered

- 6.6. The proposal would involve external and internal alterations and refurbishments to a number of existing buildings set within the curtilage of a listed building and subdivision of the listed curtilage. As such, the main issues to be considered in respect of this LBC application are:
- Identify the significance of the heritage assets affected by the proposal;
  - Assess whether the harm to the identified significance is substantial; and
  - Assess whether the proposed subdivision would adversely affect the setting of the remaining site associated with Southgate House.

## **7. Analysis**

### **Heritage Significance**

- 7.1. The assessments on the heritage significance of each building within the Southgate House Site are provided as following.

Southgate House

- 7.2. The heritage significance of the Southgate House Site lies in Southgate House, which is accessed from the High Street via a carriage drive. The house dates from the late 18th century and is a high status Georgian country house over two principle floors with basements and attics. The house is grade II\* listed and is therefore of high heritage significance, retaining many features of interest, including much of original external architectural composition, many of the principle ground floor interiors and the main oval shaped circulation lobby with cantilevered stone staircase.
- 7.3. The house appears to have been converted to institutional use in the early 20th century and has a large single storey extension on the southern side and various extensions on the north side. Also within the grounds of the house are significant curtilage structures associated with the estate. These include a high brick boundary wall, which is evident on the west and north sides of the site, and the former stable building, which fronts onto the High Street and presents a well- mannered Classical façade to the eastern elevation with pediment, pilasters and arched windows.

Farbey Building

- 7.4. The building was erected in the 1930s as a result of the expansion of the institutional use of the site and is a good example of the mannerist modern style. Whilst being of lesser heritage significance than the Georgian house, the school building is considered to be listed by virtue of attachment to the Georgian house and the architectural composition of this building is of some merit, particularly the southern elevation, main hall and circulation spaces.

- 7.5. The Farbey Building sits to the left and at a right angle to the main elevation of Southgate House, partially screened by a belt of planting that follows the curve of the drive that sweeps in front of the main house. To the south, its elevation is broadly in line with the rear elevation of Southgate House with only a few single storey buildings being proud of this line – enabling the setting of the main house to be appreciated.

#### Mew Building

- 7.6. There is little historic fabric remains internally. Externally the Mew Building displays classical proportions and architectural details including the segmental arched windows at first floor and the central pediment. The building was converted to educational use when the building first became a school and suffered a number of alterations including the blocking of entrances and the insertion of an external staircase to the upper floor.

#### Open sided Workshop Building

- 7.7. The existing structure is not of any particular heritage merit.

#### Landscape

- 7.8. In terms of the grounds around the Southgate House, there is no remaining formal garden design that is evident today, other than the presence of the carriage driveway. The grounds have also been severely depleted in the 20th century due to the erection of the 1930s school buildings on the site, the creation of extensive car parking areas and the sale of land beyond for housing development. The remaining open grounds are therefore critical to defining the immediate setting of this house as a former country home of high status.

#### Summary

- 7.9. The most important part of Southgate House Site is the original Southgate House in its landscape. This is a historically significant remnant of how Southgate developed and of a high quality neo-classical gentleman's villa. Whilst the house has been extended and altered, much of the significance of the house remains, although this has been diminished primarily by the changes necessary for educational use.
- 7.10. The transformation of the site to educational use in the 1920s and 30s and the development of surrounding Southgate fundamentally changed the historical setting of the villa and its use. Whilst this is of historical interest, architecturally it led to the loss of the majority of its landscape setting and the construction of a number of new educational buildings. These former educational buildings are of some minor interest in their own right, most relevantly, they were built in a sympathetic style, as good neighbours to the Southgate House.

#### **Impact on Significance of Heritage Assets**

##### a) Southgate House

- 7.11. The proposal would result in the existing physical attachment between the Farbey Building and Southgate House to be demolished. This link was built

later to connect the dairy building to the new Farbey school building. Thus, the proposed demolition would indeed bring heritage benefits by returning both Southgate House and Farbey Building to their original independent status as detached buildings.

b) Proposal to remodel, refurbish and extend the Farbey Building

- 7.12. Whilst being of lesser heritage significance than the Southgate House, the Farbey Building is considered to be listed by virtue of attachment to the Georgian house and the architectural composition of this building is of some merit, particularly the southern elevation, main hall and circulation spaces.
- 7.13. The proposed new extensions are located on the north elevation of the building, leading to limited impact on the setting of Southgate House by way of its location. Given its scale and massing the extensions are considered modest and will use materials and form that is sympathetic to the existing school building. The impact to the significance of Farbey Building is considered minor.
- 7.14. The proposed like-for-like replacement of existing windows and refurbishment of roof coverings will positively enhance the building and its relationship with this historic building.
- 7.15. Works to raise the flat roof above the stage area by approximately 600mm will take place behind the existing southern parapet, and therefore has no impact on the setting of the listed building or the architectural integrity of the Farbey Building.
- 7.16. The proposed internal works to subdivide the main hall of the Farbey Building were originally concerned during the pre-application stage. The Farbey Building is of significance in its own right, with its main hall making a crucial contribution to its significance. The proposed architectural intervention to the main hall could potentially impact upon the significance of the building.
- 7.17. In order to retain the sense of scale and height of the main hall, it is proposed that the subdivision will be located to one end only of the hall, allowing the southern end of the hall to retain its original volume. Whilst the stage area will be removed, the proscenium arch will be retained and 'back-filled' to ensure that its silhouette remains a feature within the hall. The submitted drawings also demonstrate that the intervention to the hall have been designed to be fully reversible.
- 7.18. Given the Heritage Statement supplied and drawings submitted, the proposed alterations to the main hall is considered to have taken a nuanced approach that is sensitive to the original design intention and where possible and preserved some semblance of the original double height space, which is on balance acceptable.

c) Proposal to remodel and refurbish the Mews Building

- 7.19. The works proposed to the Mews/Stable block will involve its refurbishment and the re-configuration of the ground floor. Externally, the proposed replacement to the existing ground floor door and windows and insertion of a new door are considered an appropriately design and style, and will not unbalance or harm the significance of the building.

7.20. Internally there are no elements of historic significance remaining and thus the proposed refurbishment will positively enhance and restore a historic element of the Southgate House estate to good condition, which is a positive heritage benefit derived from the proposals.

- d) Proposals to convert the open sided workshop to provide school kitchen and dining facilities

7.21. The open sided workshop is a less architecturally sensitive area and the existing structure is not of any particular heritage merit. As such, its loss would not be an issue.

- e) A new vehicle and pedestrian access from the public car park off Leigh Hunt Drive

7.22. The new access point is proposed to be via the existing Council car park to the north of the site. This would involve the insertion of a new opening within the boundary wall. Whilst this wall is clearly associated with the Grade II\* Listed Southgate House, sections of the wall appear to have been rebuilt. Therefore, whilst the proposals would involve alteration to the curtilage listed wall, the impact is not considered to substantially harm the fabric of the listed boundary wall.

7.23. In light with the above assessment, it is then concluded that from a heritage perspective the Farbey Building is listed by virtue of being a curtilage structure to Southgate House, its importance therefore relates primarily to its role in the setting of the historic house. The proposed alterations are not considered, therefore, to affect this relationship.

#### **Impact on the setting of the remaining site associated with Southgate House**

7.24. The proposal would involve the subdivision of the curtilage of the Grade II\* listed building, involving the erection of a secure boundary fence around the entirety of the new school site and a boundary with Southgate House.

7.25. Historical England (HE) raised no objection to the proposed use of the C20 curtilage listed buildings for educational purpose, but pointed out that such an annexing of part of the site may raise issues in respect to the viability and setting of the Southgate House and may impact on historic curtilage structures associated with the Southgate House. The following comments were provided by HE during the pre-application stage:

- There should be clear and enforceable assurances regarding the land and buildings that will form part of any future marketing exercise for Southgate House. The curtilage land associated with the house needs to be extensive enough to ensure that it is a viable option in its own right for a variety of possible uses. As such, it is strongly advised that there should be no further annexation of the land; and
- The demarcation of the land associated with the school needs to be fully considered and detailed, including boundary treatments. These should not restrict views through to the southern façade of the school building and should not intrude upon key views looking towards the House when

approaching from the carriage drive. Any subdivision of the rear garden needs to ensure that the house has sufficient land to ensure that its setting is not negatively impacted and that any boundary treatment is subtle in appearance, possibly defined by planting to the house side, rather than walls or fences.

- 7.26. The entire site of the Southgate House is approximately 17,600sqm, and the application site / proposed new house is approximately 7,000sqm. The proposal would lead to the remaining site associated to the Southgate House at approximately 10,600sqm, which is considered a sufficient area for the future development of Southgate House. The Council would not seek further annexation of the site.



- 7.27. A smaller, estate railing fencing (1.2m) is proposed to follow the northern edge of the existing sweeping driveway approach to Southgate House, which will demark the boundary between the Southgate House site and the site of the new school. The proposed estate railing fencing will draw the eye towards the main façade of Southgate House complimenting the existing driveway and landscaping of the site. This design will allow views of the two buildings, between the two buildings, and ensure their existing relationship is maintained.
- 7.28. The proposed higher security fence (2.7m) will follow the existing car park behind the drive and out of site and context with the main house. To the rear, the line of the new boundary will be set back from the historic house so as to mitigate the effect when viewed from Southgate House and also enable a suitable open space to the rear of the Southgate House from the Farbey Building.

- 7.29. The proposed landscaping scheme also ensures that the impact of the fence is further reduced and 'masked' from the Southgate House side of the boundary. The scheme will not restrict views through to the southern elevation of Southgate House and will not intrude on key views looking towards the house when approaching from the carriage drive to the north.
- 7.30. It is therefore concluded that the proposed subdivision of the Southgate House site has been carefully considered by way of the proposed location and nature of the boundary that are designed to be placed in a position of least significance whilst still delivering the necessary space and requirements for the school. The subdivision would thus have a minimal effect on the setting of the listed building and the remaining site associated with Southgate House.

## **8. Conclusion**

- 8.1. It is concluded that, subject to conditions, the proposal would offer a sympathetic and well considered scheme that has had full regard for the significance of the historic Southgate House and other heritage assets in the listed curtilage and its setting whilst enabling the provision of educational facilities of a highly valuable public benefit.

## **9. Recommendation**

- 9.1. As such, Listed Building Consent is recommended approval, subject to the following conditions:
1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.  
  
Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.
  2. The development hereby permitted shall be carried out in accordance with the approved plans including plans(s) that may have been revised, as set out in the attached schedule which forms part of this notice.  
  
Reason: For the avoidance of doubt and in the interests of proper planning.
  3. No demolition shall take place until a written scheme of historic building investigation (WSI) has been submitted to and approved in writing by the Local Planning Authority. For buildings that are included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives, and
    - a) The programme and methodology of historic building investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works;
    - b) The programme for post-investigation assessment and subsequent analysis, publication and dissemination and deposition of resulting material. This part of the condition shall not be discharged until

these elements have been fulfilled in accordance with the programme set out in the WSI.

The written scheme of investigation will need to be prepared and implemented by a suitably professionally accredited heritage practice in accordance with Historic England's Guidelines for Archaeological Projects in Greater London.

Reason: To identify and conserve heritage assets.

4. Prior to commencement of development, including any demolition and restoration works, a demolition method statement including plans and elevations which show the building fabric to be demolished in red and the architectural features to be removed and reinstated in green shall be submitted to and approved in writing by the Local Planning Authority. The demolition method statement shall be prepared by a specialist contractor in conjunction with a suitably qualified heritage consultant and detail the works to be carried out by hand under supervision. The demolition method statement shall also include the contract for the carrying out and completion of the development.

Reason: To safeguard the structural integrity of the Grade II\* listed building; To identify, conserve, repair and where appropriate reinstate the architectural features of the Grade II\* listed building; To ensure a satisfactory external appearance.

5. Prior to commencement of development, including any demolition and restoration works, a restoration method statement including a schedule for the conservation, repair and replacement of all internal and external architectural features shall be submitted to and approved in writing by the Local Planning Authority. The restoration method statement and schedule shall be prepared by a suitably qualified heritage consultant. All existing historic fabric including bricks, slates, windows, doors, lintels, cills, rainwater goods etc. shall be salvaged where possible and reused. The restoration method statement and schedule shall include details for the storage of architectural features to be removed and reused to protect against accidental loss or damage during the building work. The development shall be carried out in accordance with the restoration method statement and schedule.

Reason: To identify, conserve, repair and where appropriate reinstate the architectural features of the Grade II\* listed building and ensure satisfactory external appearance.

6. Prior to commencement of development, including any demolition and restoration works, details and samples of the external finishing materials to be used must be submitted to and approved in writing by the Local Planning Authority. The external finishing materials include, but are not limited to, doors, windows, roofs, gutters, downpipes, brick type, face bond, pointing, render, paintwork, replacement architectural features and hardstanding. The development shall be constructed in accordance with the approved details.

Reason: To ensure satisfactory external appearance of the Grade II\* listed building.

7. Prior to commencement of development, including any demolition and restoration works, detailed drawings including sections at a 1:20 scale or larger shall be submitted to and approved in writing by the Local Planning Authority. The detailed drawings including sections shall include any new or replacement architectural features including:
- Proposed new doors/ windows/ alterations to the Farbey Building and Mews building (at a scale of 1:20 with 1:5 sections); Doors including jambs, frame, door case, door furniture and windows including cills, reveals, heads, window furniture;
  - Proposed alterations to the stage area of the Farbey Building (at a scale of 1:20 with 1:5 sections)
  - Proposed boundary fence (at a scale of 1:20 with 1:5 sections)
  - New external hard play area materials samples/ detail drawings at a scale of 1:20 with 1:5 sections
  - New access from Leigh Hunt Drive at a scale of 1:20 with 1:5 sections/ materials samples
  - Details of all new fenestration to Farbey Building/ Southgate House/ Mews Building
  - Further details of the proposed internal alterations to the Farbey Building showing how new partitions/ mezzanine floors etc. will be affixed to the internal historic fabric
  - Roofs including eaves and parapet detail.

The development shall be constructed in accordance with the approved details.

Reason: To ensure satisfactory external appearance of the Grade II\* listed building.

8. Prior to commencement of development, including any demolition and restoration works, details of any new external flues and vents on Workshop Building and Farbey Building, including their design, materials and siting, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure satisfactory external appearance of the Grade II\* listed building.

9. Prior to commencement of development, including any demolition and restoration works, the position, type and manner of installation of all internal and external services and fittings shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure satisfactory external appearance of the Grade II\* listed building.

10. Prior to commencement of development, excluding only demolition and restoration works, details of the means of boundary treatment shall be submitted to and approved in writing by the Local Planning Authority. The site shall be enclosed in accordance with the approved details.

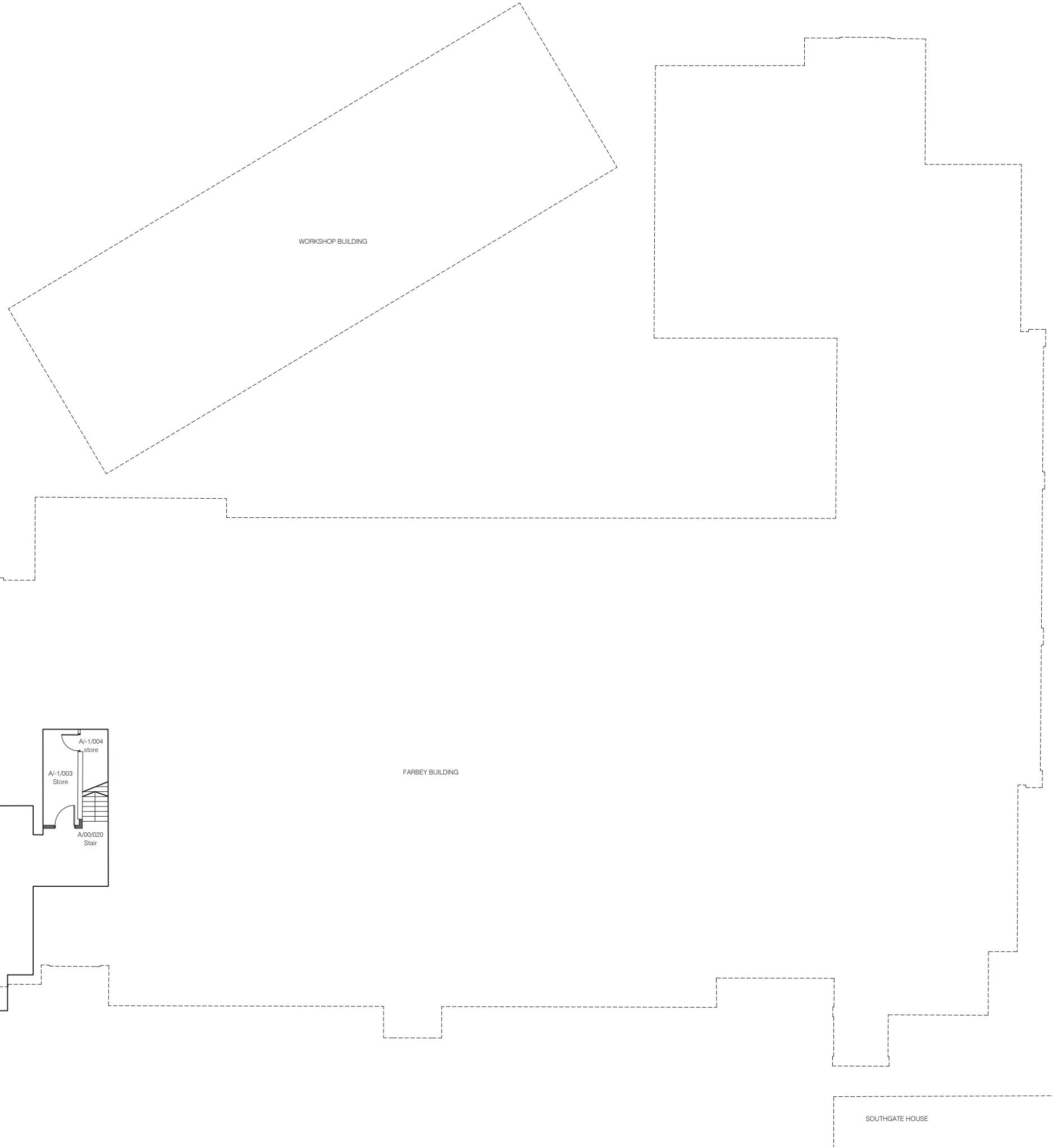
Reason: To ensure satisfactory appearance of the Grade II\* listed building and in the interests of highway safety.



11. The restoration works shall match the original fabric in composition and consistency in respect of materials, form, detailed execution and finished appearance unless shown on the approved drawings.

Reason: To maintain the integrity of the Grade II\* listed building.





**GENERAL NOTES:**

- Do not scale from this drawing unless for planning
- All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing
- Replace all internal doors with new laminate faced solid core doors and painted frames

**KEY:**

- Existing walls/ partitions
- New cavity wall construction
- New walls/ partitions

Rev	Date	Description	Name
A	09.16	Planning Application	

**bhp architects**

Nicholas House River Front Enfield Middlesex EN1 3TF  
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site  
 High Street  
 London  
 N14 6BS

drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Farbey Building  
 Proposed Basement Floor Plan

job number	drawing number	revision
740	140	A

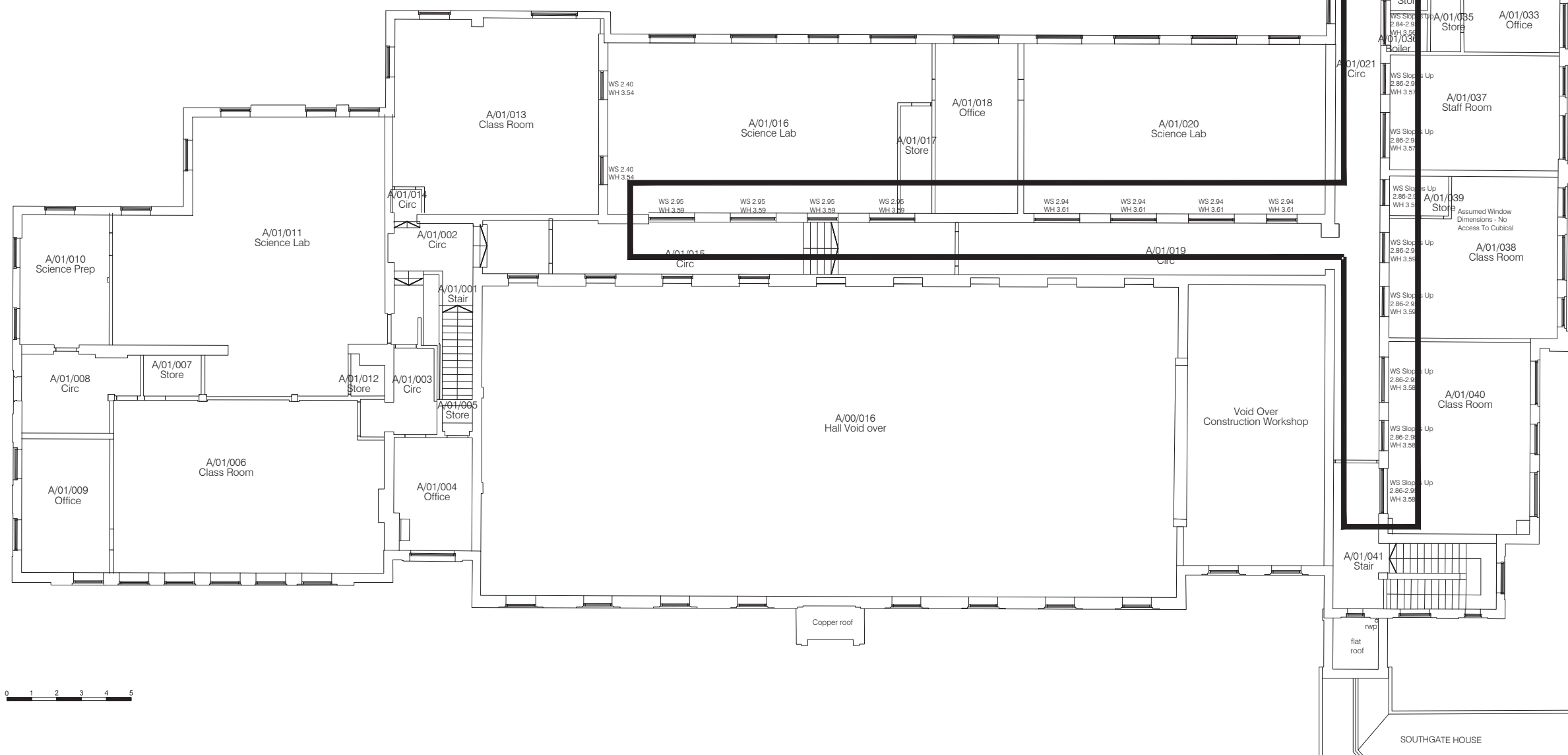
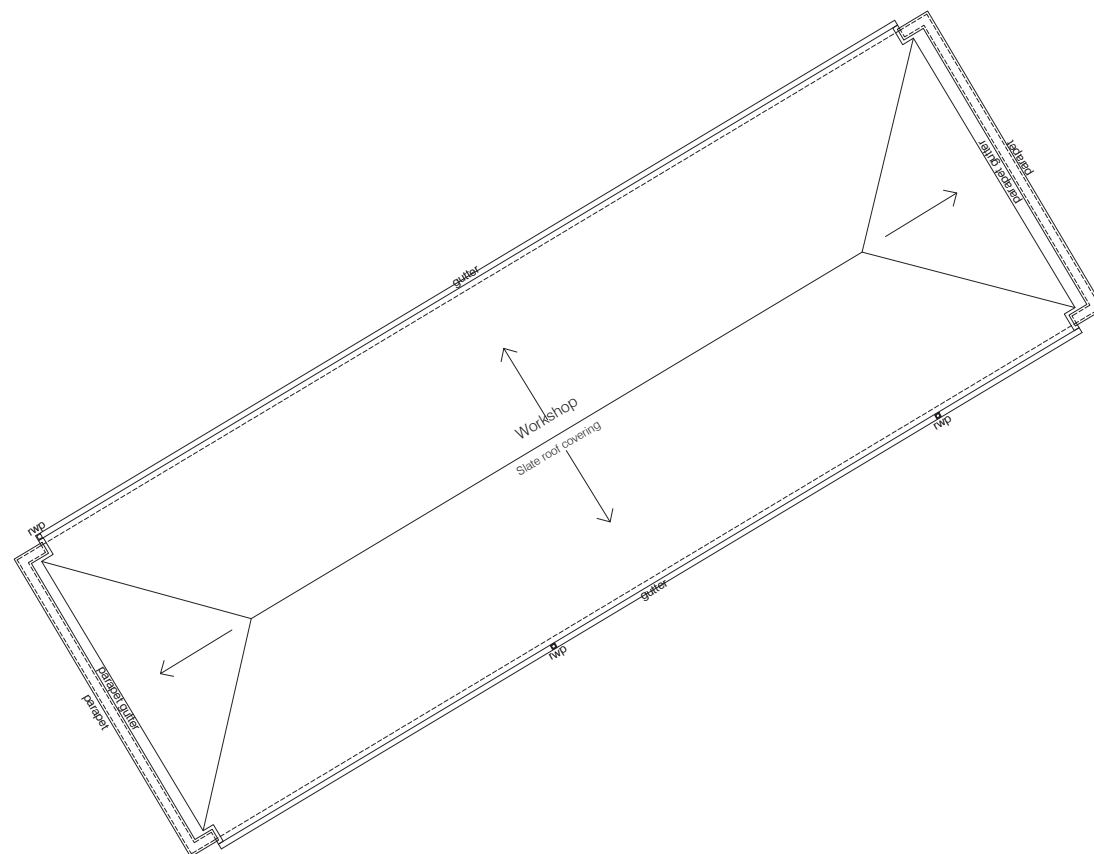






GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed clerestory windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing



A	09.16	Planning Application	RB
Rev.	Date	Description	Name

**bhp architects**  
 Nicholas House River Front Enfield Middlesex EN1 3TF  
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

Minchenden School Site  
 High Street  
 London  
 N14 6BS

drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Farbey Building  
 Proposed Clerestory Plan

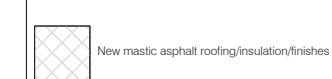
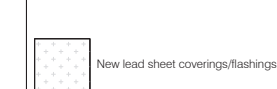
job number	drawing number	revision
740	143	A

GENERAL NOTES:

- Do not scale from this drawing unless for planning

KEY

- \* New roof coverings subject to separate application for Lawful Development Certificate for proposed works



Rev.	Date	Description	Name
A	09.16	Planning Application	RB

**bhp architects**

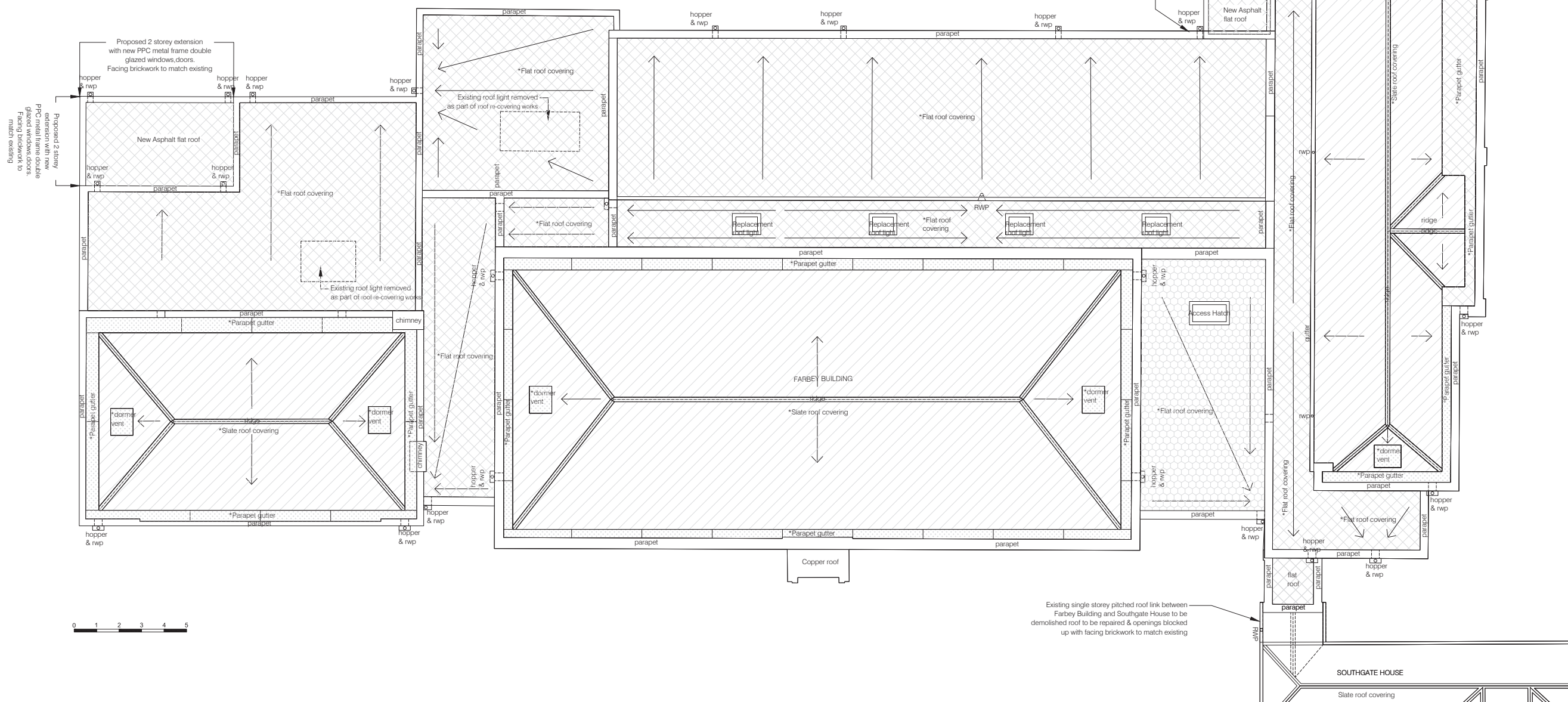
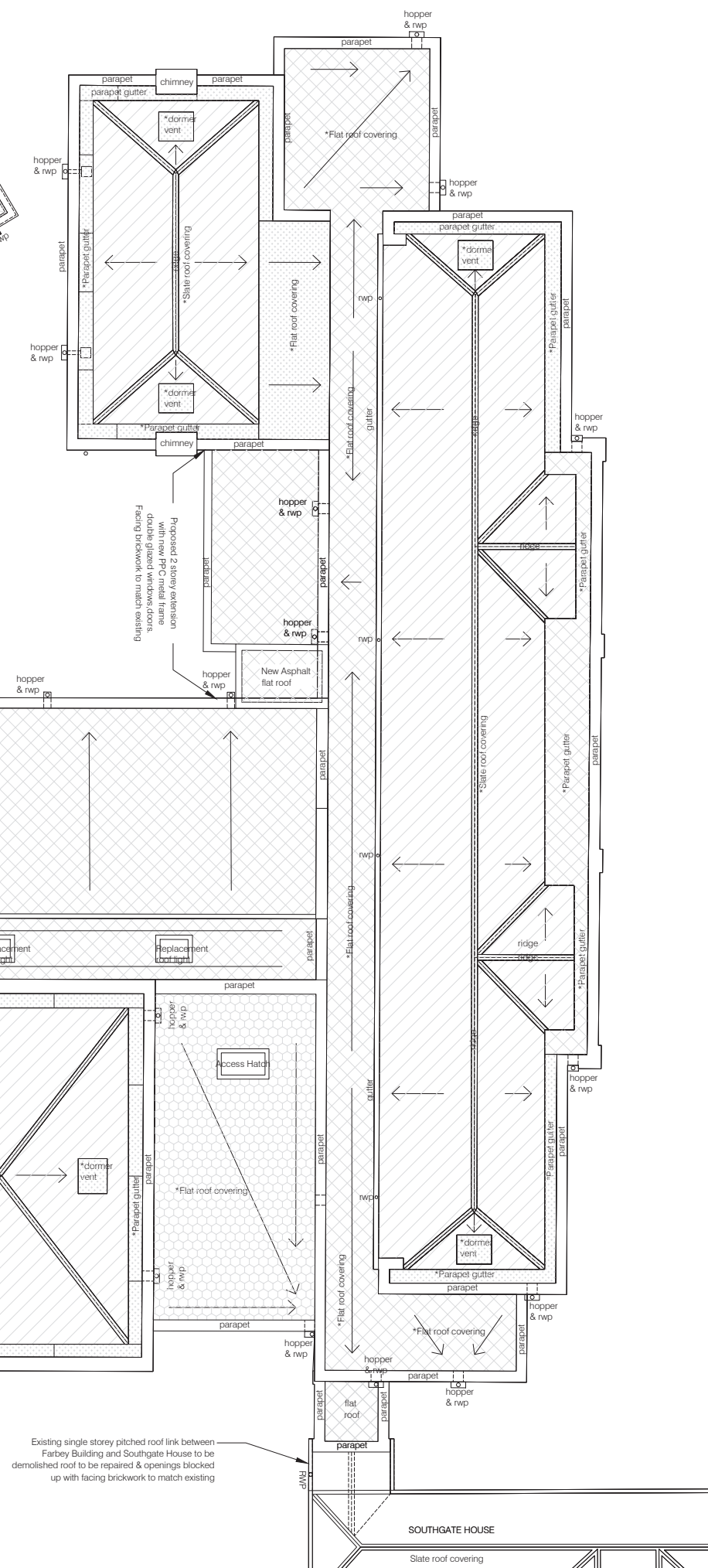
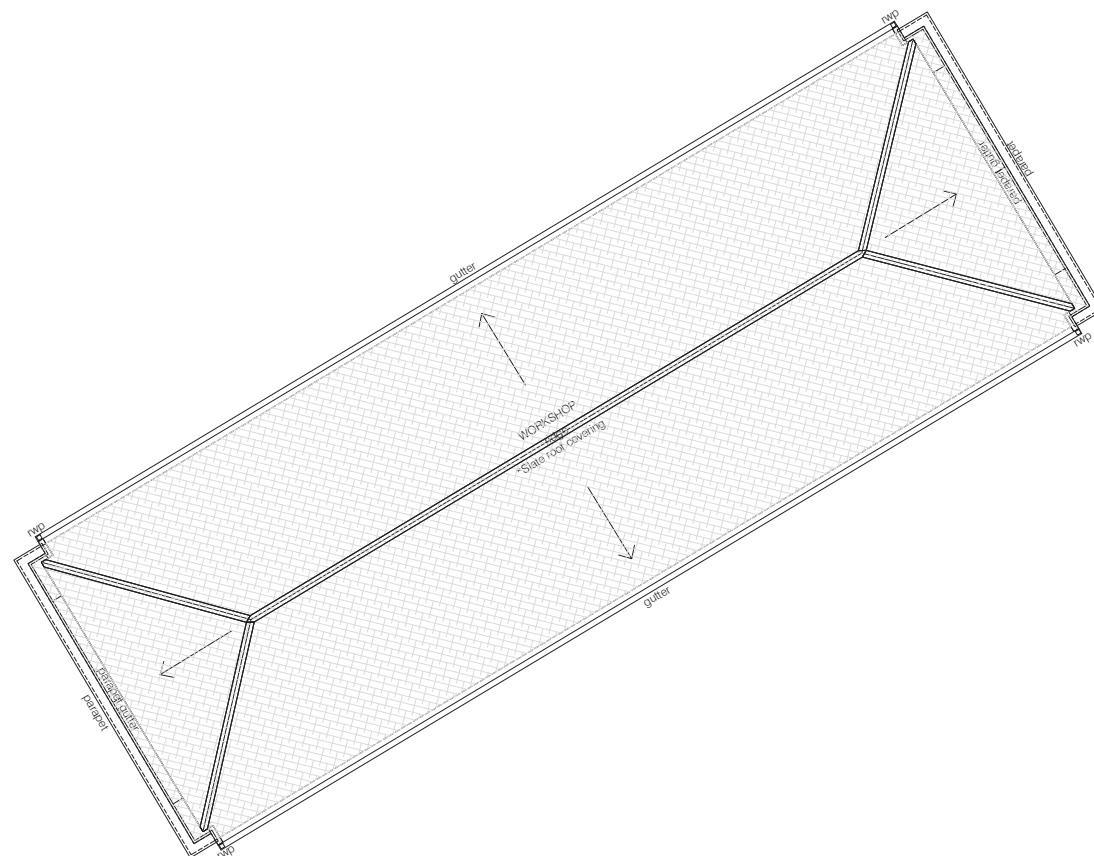
Nicholas House River Front Enfield Middlesex EN1 3TF  
 1 + 44 (0) 208 367 8000 1 + 44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site  
 High Street  
 London  
 N14 6BS

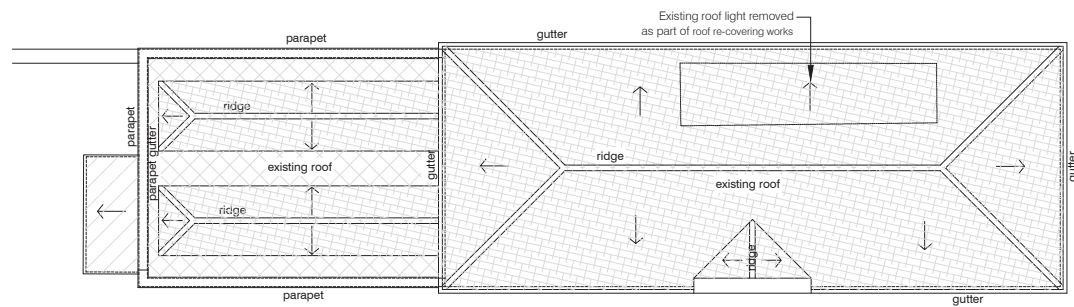
drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Farbey & Workshop Buildings  
 Proposed Roof Plan

job number	drawing number	revision
740	144	A



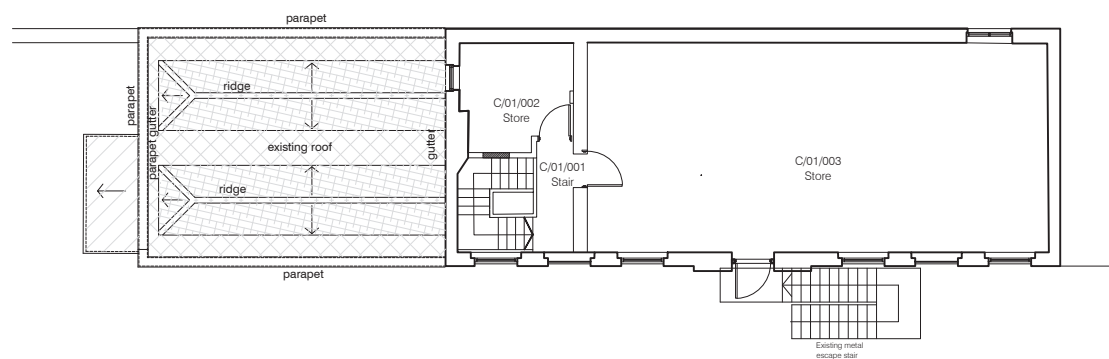
Existing single storey pitched roof link between Farbey Building and Southgate House to be demolished roof to be repaired & openings blocked up with facing brickwork to match existing



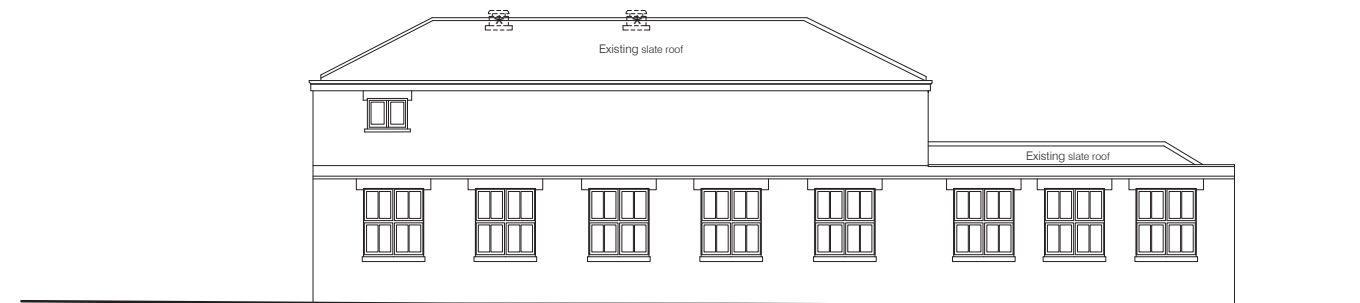
3. PROPOSED ROOF PLAN



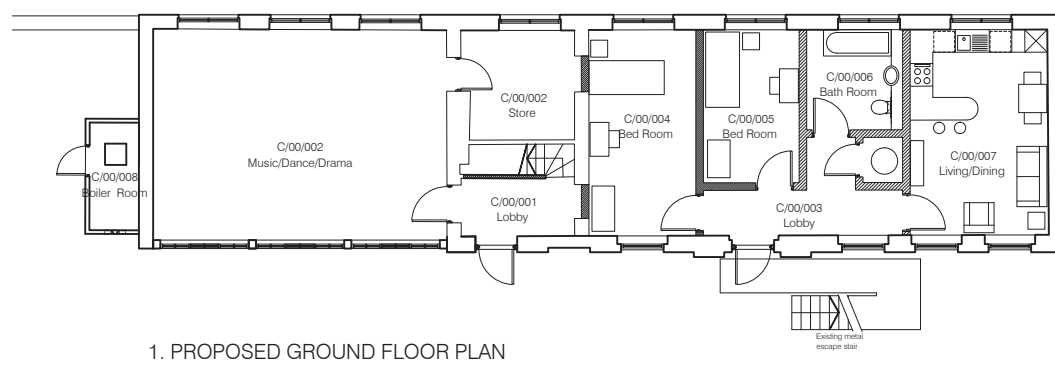
7. PROPOSED EAST ELEVATION



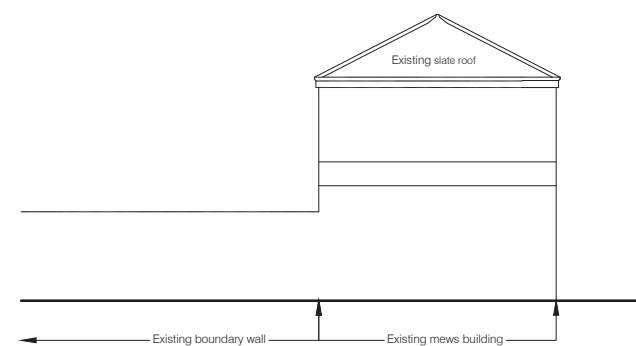
2. PROPOSED FIRST FLOOR PLAN



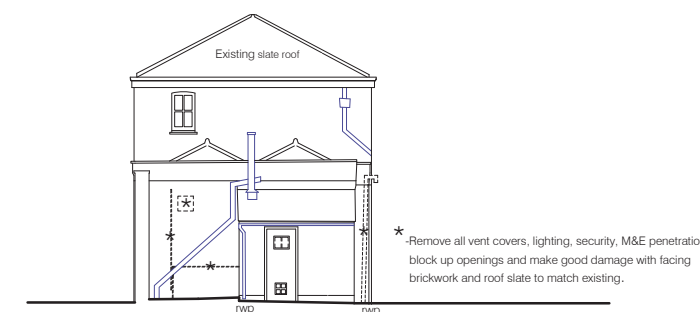
6. PROPOSED WEST ELEVATION



1. PROPOSED GROUND FLOOR PLAN



4. PROPOSED NORTH ELEVATION











5. PROPOSED SOUTH ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new painted sub-frames. All to match existing

**KEY**  
★ New roof coverings subject to separate application for Lawful Development Certificate for proposed works

-  Natural slate roof covering
-  Sheet Lead roof covering/flashing
-  Asphalt roof covering
-  New raised roof structure with new roof covering subject to Lawful development Certificate for proposed works
-  Existing roof to be repaired

-  Existing walls/ partitions
-  New cavity wall construction
-  New walls/ partitions

A	09.16	Planning Application	RB
Rev.	Date	Description	Name

**bhp architects**

Nicholas House River Front Enfield Middlesex EN1 3TF  
t +44 (0) 208 367 8000 f +44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site  
High Street  
London  
N14 6BS

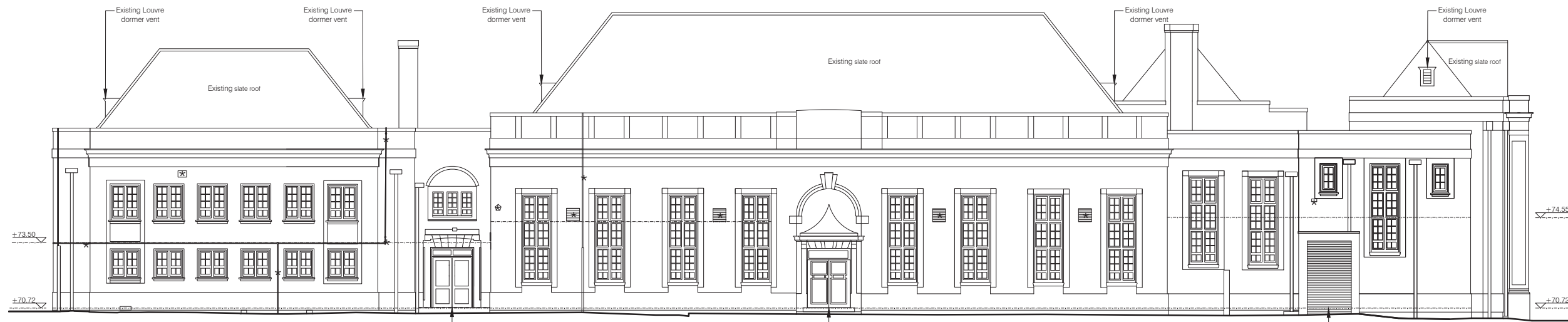
drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Mews Building  
Proposed Floor Plans & Elevations

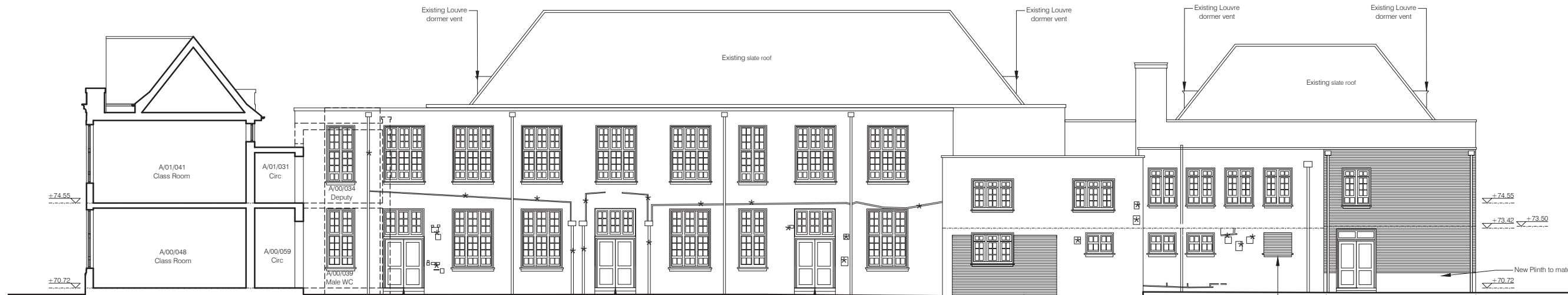
job number	drawing number	revision
740	145	A



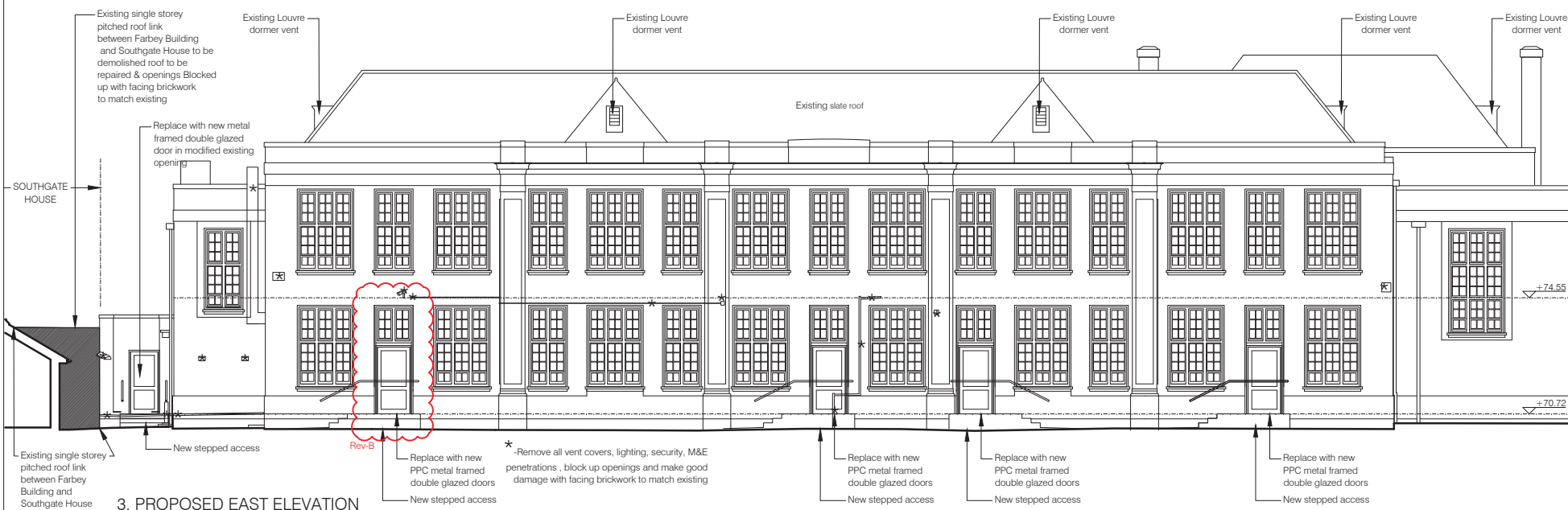




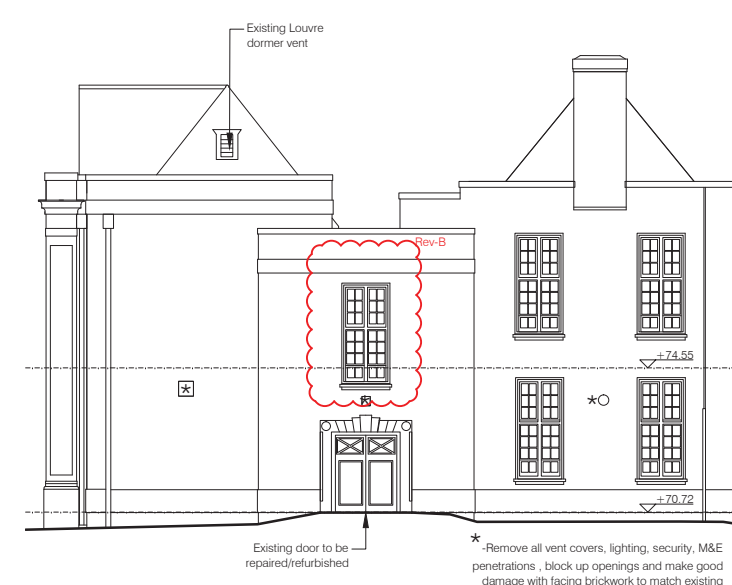
1. PROPOSED SOUTH ELEVATION



2. PROPOSED NORTH ELEVATION



3. PROPOSED EAST ELEVATION

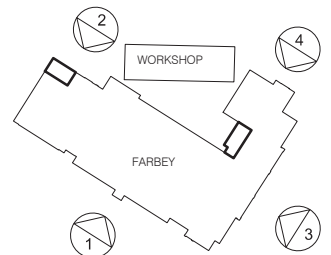


4. PROPOSED NORTH ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Door added to East elevation Window added to north elevation not shown on survey/dwg	RB
A	09.16	Planning Application	RB

**bhp architects**

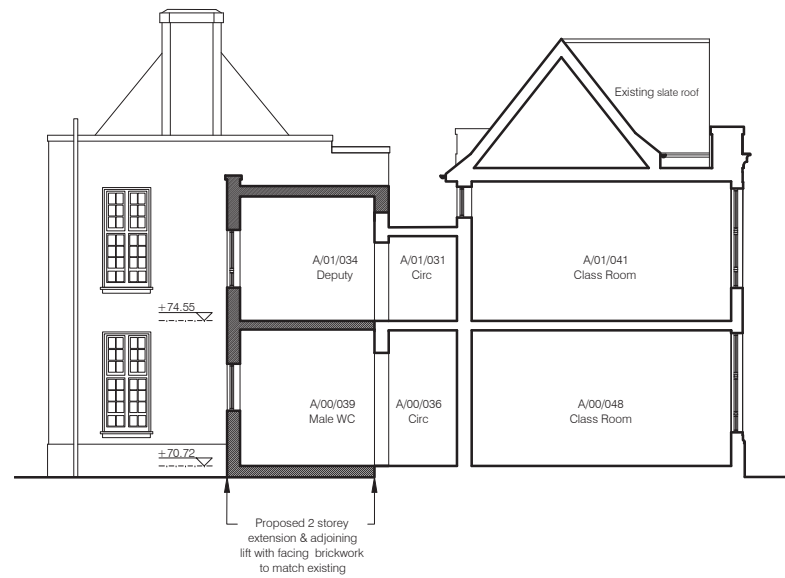
Nicholas House River Front Enfield Middlesex EN1 3TF  
t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

Minchenden School Site  
High Street  
London  
N14 6BS

drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

Farbey Building  
Proposed Elevations

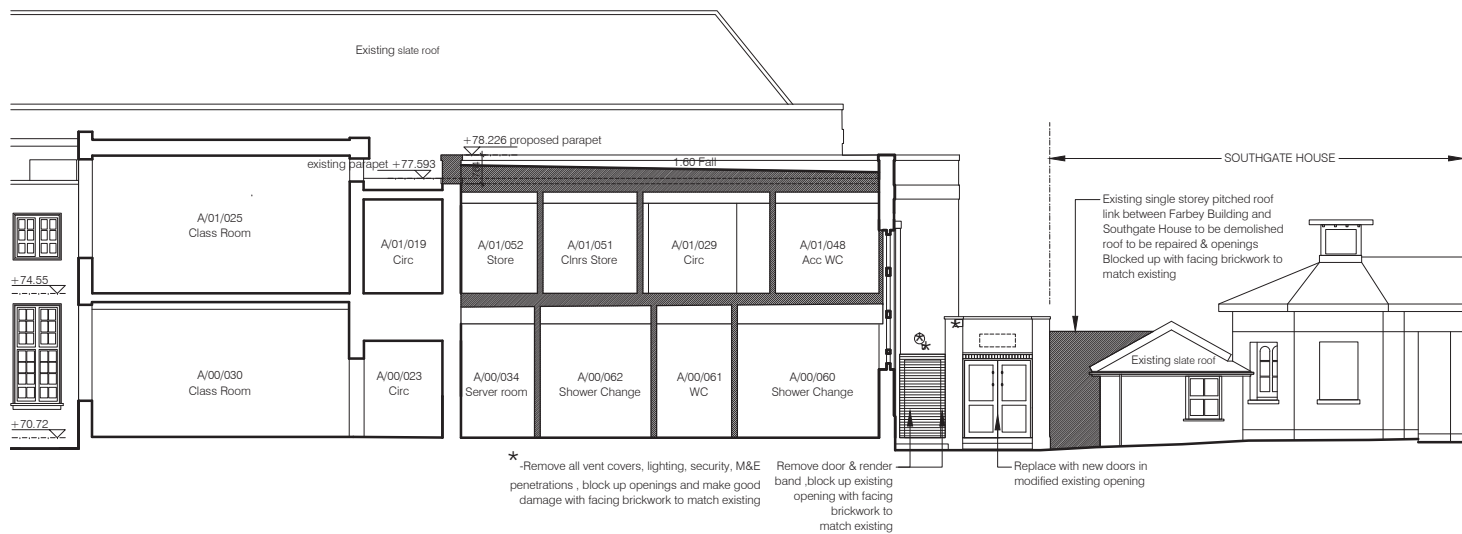
job number	drawing number	revision
740	150	B



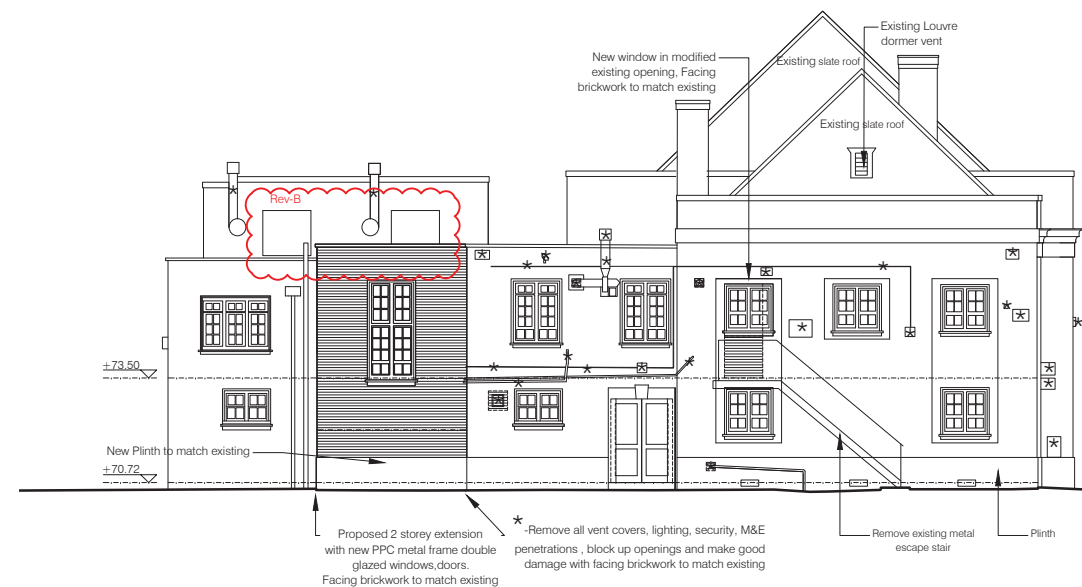
5. PROPOSED SOUTH SECTIONAL ELEVATION



6. PROPOSED WEST SECTIONAL ELEVATION



7. PROPOSED WEST SECTIONAL ELEVATION

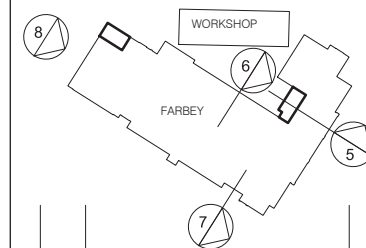


8. PROPOSED WEST ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Part west elevation added not shown on survey dwg. Door added to west elevation shown on plan. Clerestory windows added to west elevation not shown on survey	RB
A	09.16	Planning Application	RB

**bhp architects**

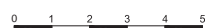
Nicholas House River Front Enfield Middlesex EN1 3TF  
t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

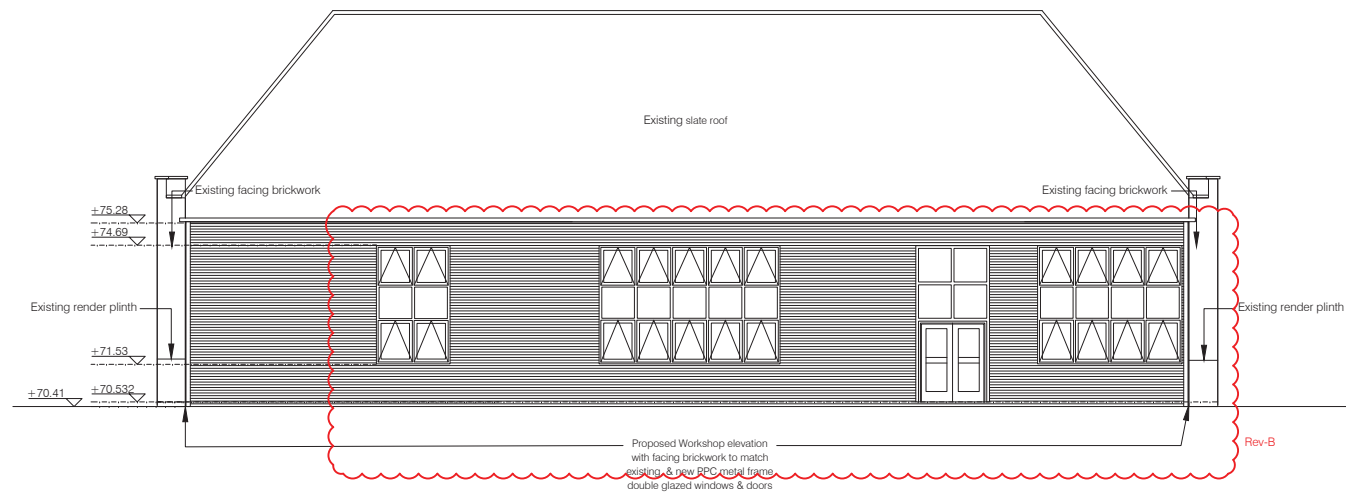
Minchenden School Site  
High Street  
London  
N14 6BS

drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

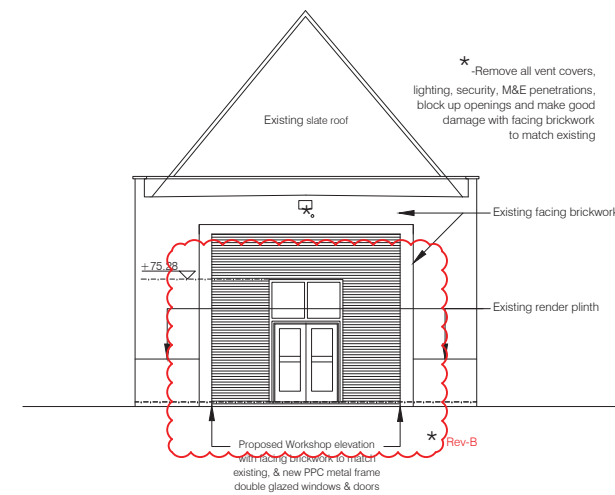
Farbey Building  
Proposed Sectional Elevations

job number	drawing number	revision
740	151	B

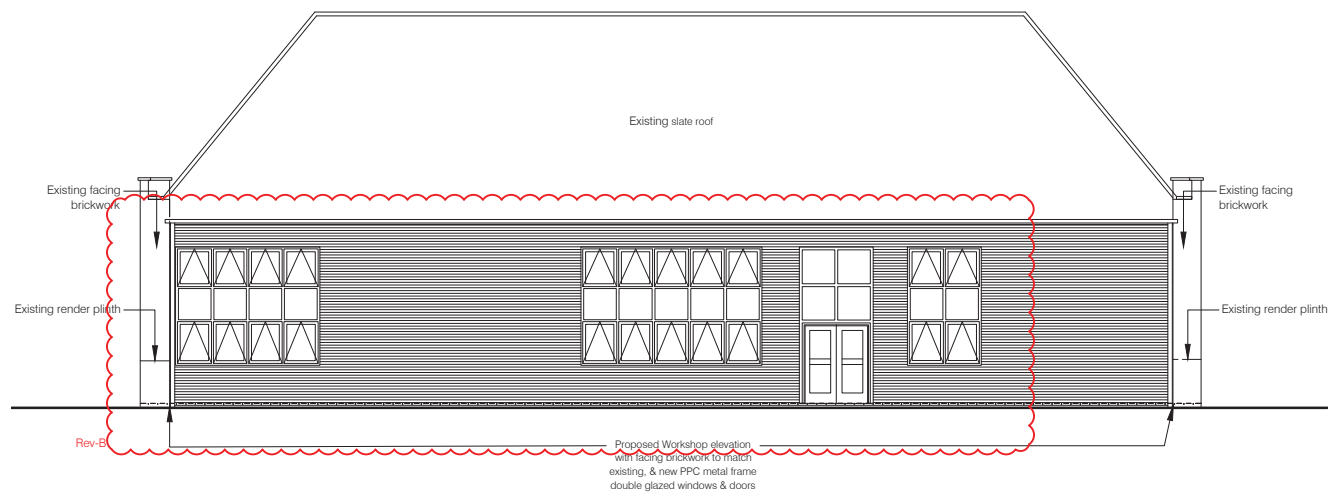




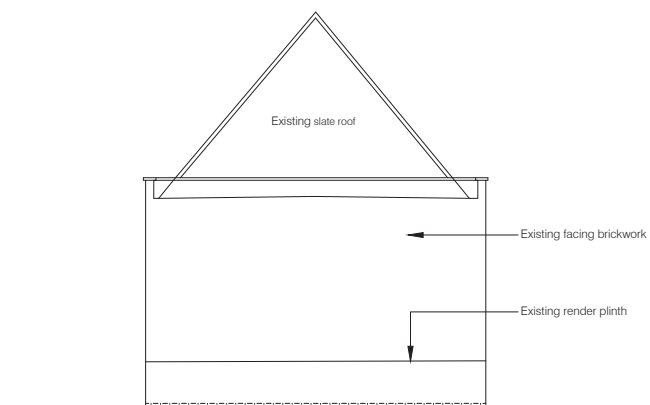
7. PROPOSED SOUTH ELEVATION



8. PROPOSED WEST ELEVATION



9. PROPOSED NORTH ELEVATION

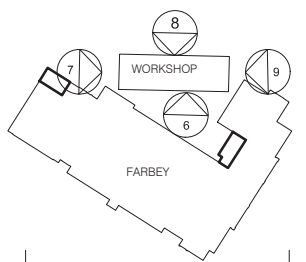


10. PROPOSED EAST ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Elevation amended to co-ordinate with survey	RB
A	09.16	Planning Application	RB

**bhp architects**

Nicholas House River Front Enfield Middlesex EN1 3TF  
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

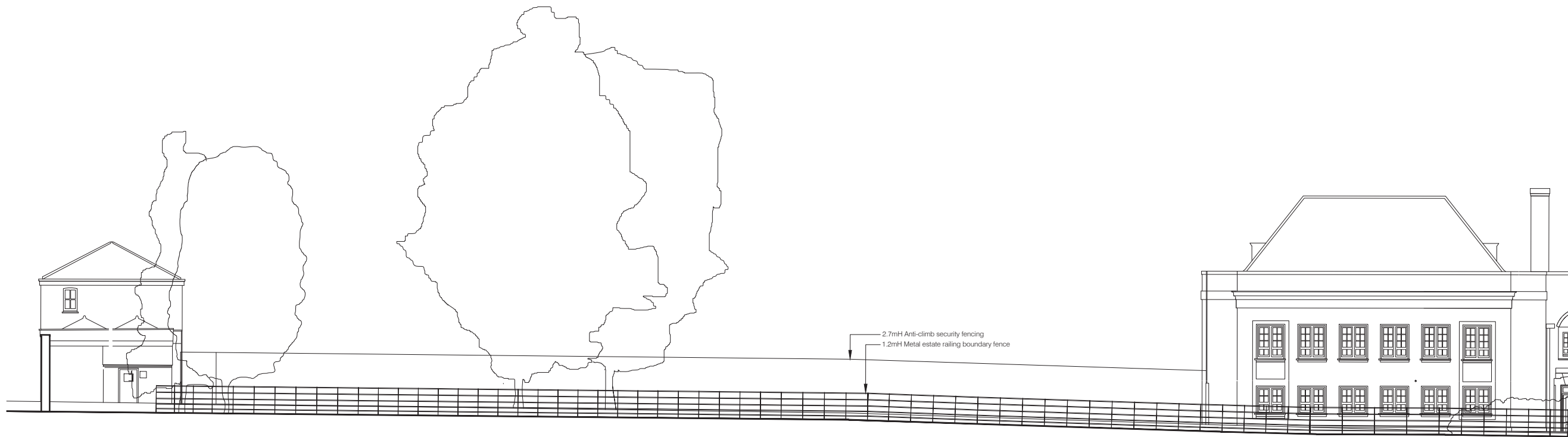
Minchenden School Site  
 High Street  
 London  
 N14 6BS

drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

Workshop Building  
 Proposed Elevations

job number	drawing number	revision
740	152	B





PROPOSED SOUTH ELEVATION 1

1. PROPOSED SOUTH ELEVATION



PROPOSED SOUTH ELEVATION 2

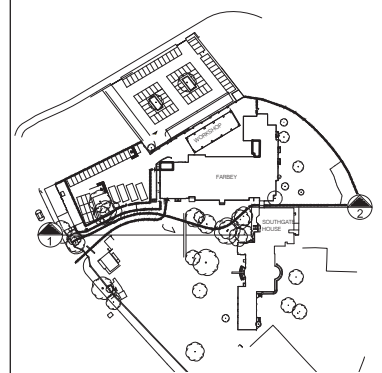
2. PROPOSED SOUTH ELEVATION



GENERAL NOTES:

1. Do not scale from this drawing unless for planning

ELEVATION KEY



A	09.16	Planning Application	RB
Rev.	Date	Description	Name

**bhp architects**

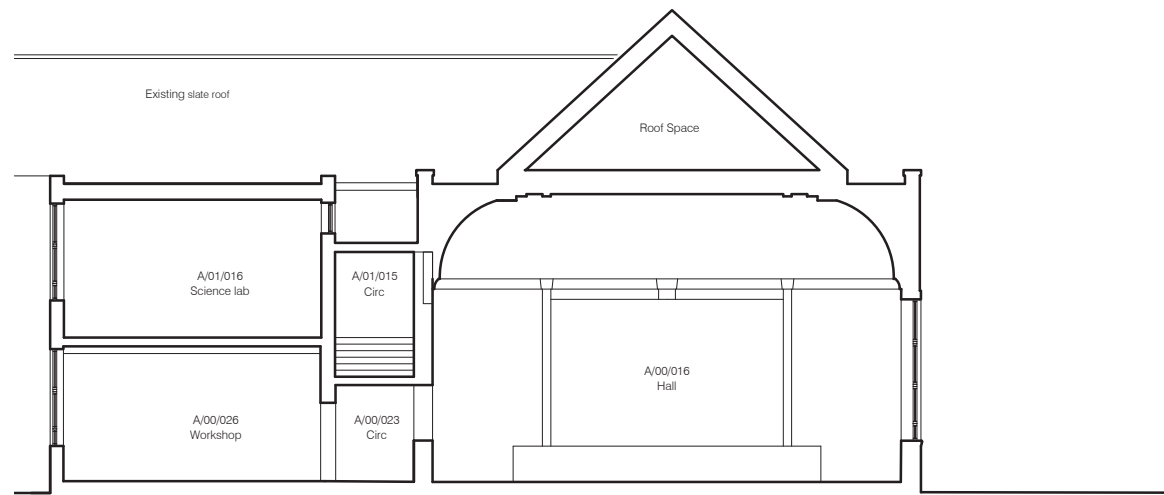
Nicholas House River Front Enfield Middlesex EN1 3TF  
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site  
 High Street  
 London  
 N14 6BS

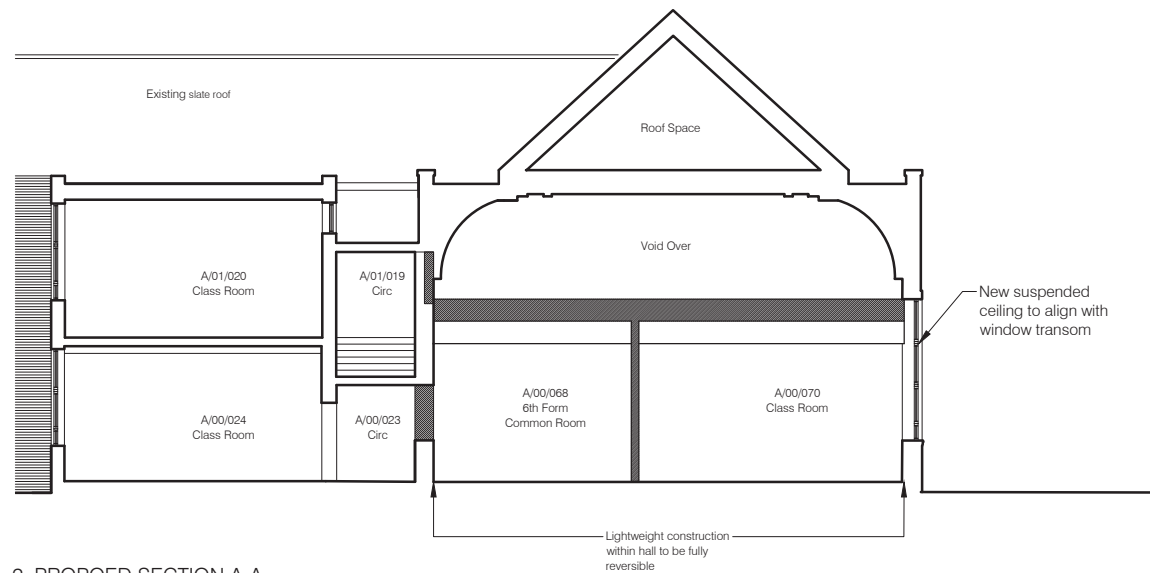
drawn	SG	file	LBE 740
date	July 2016	scale @ A1	1:100

South Elevation of School site  
 as viewed from Southgate House

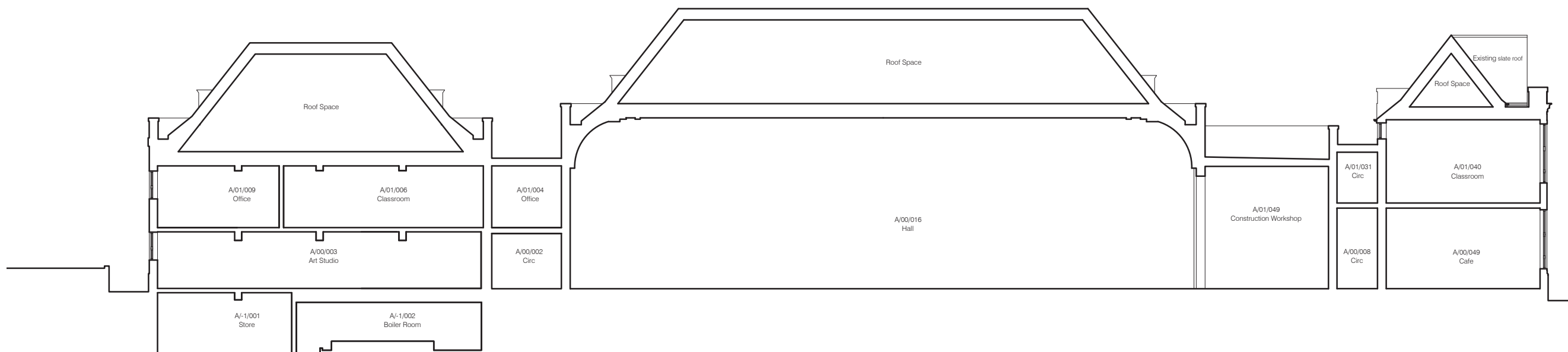
job number	drawing number	revision
740	153	A



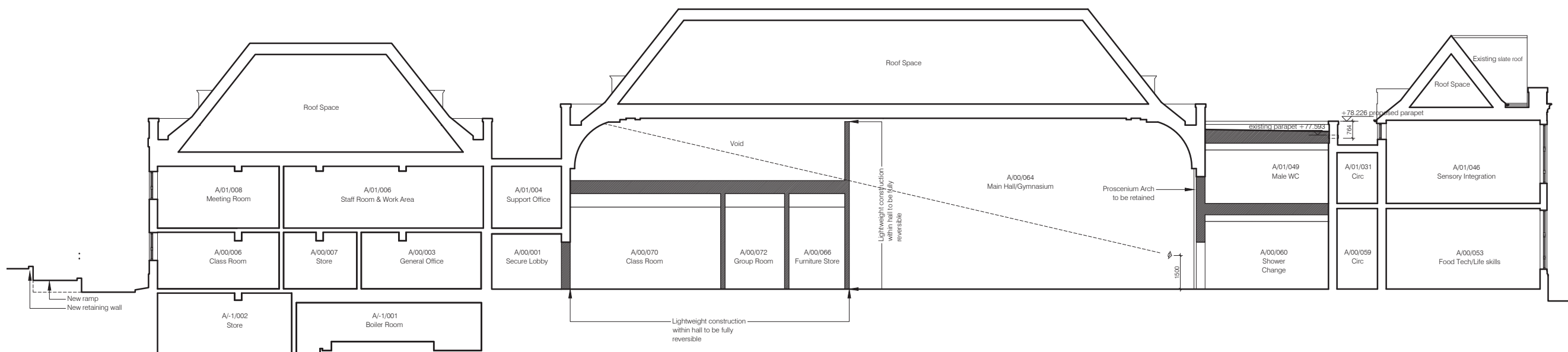
1. EXISTING SECTION A-A



2. PROPOSED SECTION A-A



3. EXISTING SECTION B-B

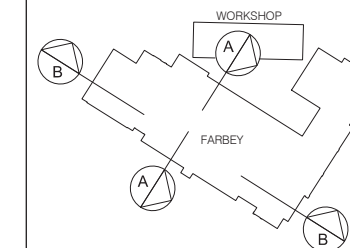


4. PROPOSED SECTION B-B

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
A	09.16	Planning Application	RB

**bhp architects**

Nicholas House River Front Enfield Middlesex EN1 3TF  
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

Minchenden School Site  
 High Street  
 London  
 N14 6BS

drawn	SG	file	LBE 740
date	July 2016	scale @ A1	1:100

Farbey Building  
 Existing & Proposed Sections

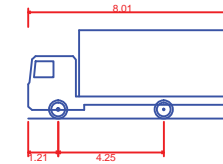
job number	drawing number	revision
740	160	A







**VEHICLE TRACK DETAILS**



7.5T Box Van (Similar Dimensions to 22 Seater Minibus)  
 Overall Length 8.010m  
 Overall Width 2.100m  
 Overall Body Height 3.556m  
 Min Body Ground Clearance 0.351m  
 Track Width 2.064m  
 Lock to Lock Time 4.00s  
 Kerb to Kerb Turning Radius 7.400m

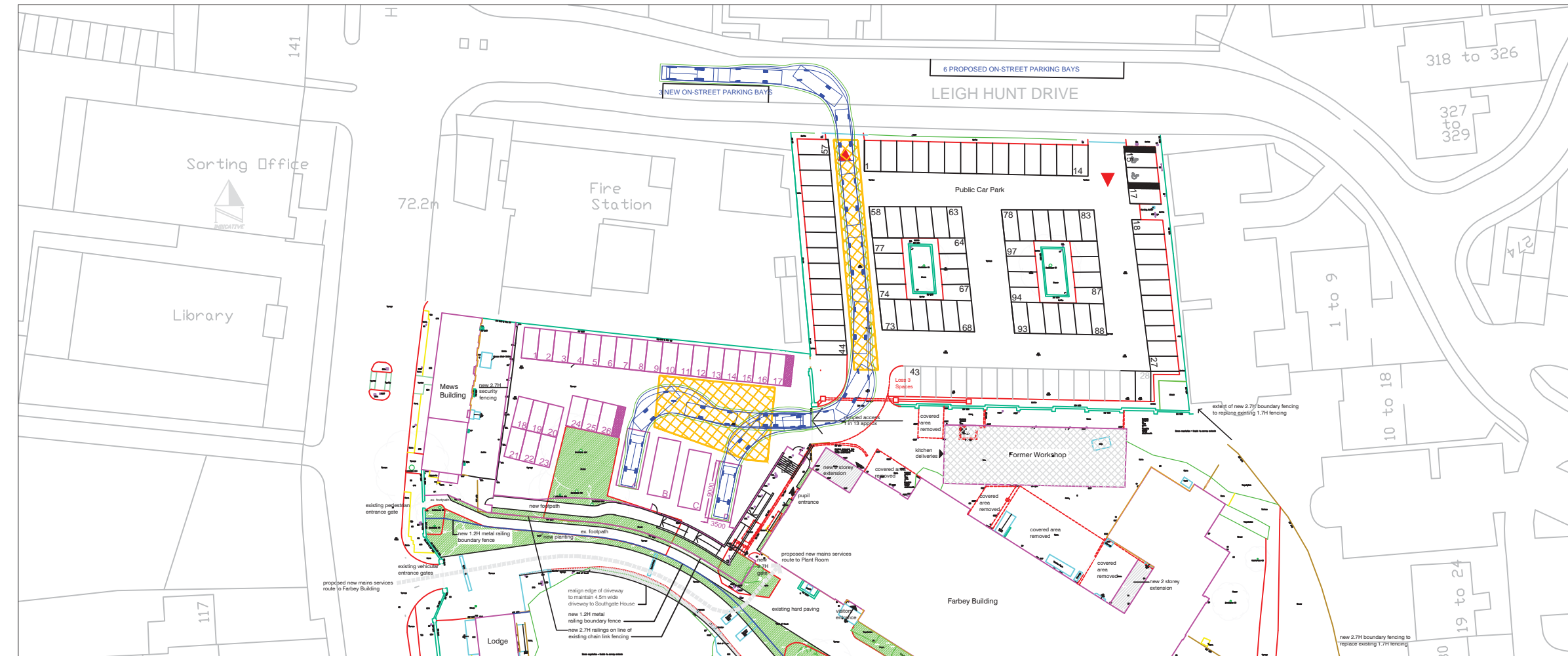
**KEY**

- Minibus Parking Bay  
9m x 3.5m with 1.5m spacing
- Staff Car Parking Bay  
2.4m x 4.8m
- Proposed Access  
(Loss of 3 spaces in P&D Car Park)
- Proposed Sliding Access Gate
- Yellow Box Markings to be kept clear at all times

**NOTE**

1. Based on Topographical Survey
2. Subject to Highway Boundary Information, Stage 1 Safety Audit (if required), and Council Approval.

1. Design Vehicle (7.5T Box Van / 22 Seater Minibus) entering the site from Leigh Hunt Drive via the public car park and reversing into minibus parking spaces A and D.



2. Design Vehicle (7.5T Box Van / 22 Seater Minibus) exiting the site via the public car park to Leigh Hunt Drive.

**PRELIMINARY**

**COTTEE** Transport Planning

Fir Lodge  
Threshelfords Business Park  
Feering  
Essex  
CO5 9SE  
 Tel : 01376 573400  
 Fax : 01376 573480  
 email : info@cottee-tp.co.uk  
 www.cotteetransportplanning.co.uk

Client  
**ENFIELD COUNCIL**

Project  
**MINCHENDEN SCHOOL  
SOUTHGATE**

Title  
**PROPOSED PARKING  
AREA LAYOUT AND ACCESS  
OPTION 5  
ACCESS / EXIT FROM LEIGH HUNT  
DRIVE (AVOIDING HERITAGE WALL)**

Drawn **A FIRMIN** Checked **MAC**

Scale **NTS @ A3** Date **AUG 2016**

Drawing No. **1626/20C**